
F/YR22/0632/RM

Applicant: Mr & Mrs C Tolley

Agent: R Boor Draughtsman

Land North Of 15, Sandbank, Wisbech St Mary, Cambridgeshire

Reserved Matters application relating to detailed matters of access, appearance, landscaping, layout and scale pursuant to outline permission F/YR21/0702/O to erect 1 x dwelling (2-storey 4-bed) and the formation of a new access

Officer recommendation: Refuse

Reason for Committee: Referred by Head of Planning on advice of Committee Chairman

1. EXECUTIVE SUMMARY

- 1.1. The application site is located in Flood Zone 3, on the northeast side of Sandbank on the northwest fringe of Wisbech St Mary and comprises agricultural grassland part of a wider field, set to the north of No.15 Sandbank.
- 1.2. This application is a reserved matters application following an outline application to erect 1 dwelling, granted contrary to Officer recommendation by the Planning Committee in September 2021. All matters were reserved and are for consideration with this application.
- 1.3. The overall design of the scheme will result in the dwelling being a distinctly prominent feature in the street scene in terms of its appearance. In addition, the overall width, height and massing of the proposed dwelling will result in the dwelling being disproportionately dominant as a substantial dwelling which is out of character with surrounding development.
- 1.4. As such, it is considered that the proposed appearance, layout and scale of the proposal is considered unacceptable with regard to Policies LP16 (d), and hence the application is recommended for refusal.

2. SITE DESCRIPTION

- 2.1. The site is located in Flood Zone 3, on the northeast side of Sandbank on the northwest fringe of Wisbech St Mary.
- 2.2. The site comprises agricultural grassland part of a wider field, set to the north of No.15 Sandbank. The site is bounded by 1.2m post and wire fencing and at the time of site inspection appeared to be used as a hayfield and paddock.

3. PROPOSAL

3.1. This application is a reserved matters application following an outline application to erect 1 dwelling, granted contrary to Officer recommendation by the Planning Committee in September 2021. All matters were reserved and are for consideration with this application.

3.2. The submitted details include:

- A substantial 2-storey dwelling is proposed with a lobby, lounge, games room, large kitchen/diner, study, utility, WC, and plant room within the dwellings' ground floor; four bedrooms (two en-suite) and a shared bathroom surrounding the landing space on the first floor. An attached double garage is proposed to the western side, with office space proposed in the garage roof space.
- The dwelling will include a gable roof with a maximum ridge height indicated as 7.95m and the eaves 5.3m approx. The garage will also have a gable roof, with a maximum ridge height of approximately 6.7m and the eaves 3.6m approx. However, owing to the proposal to raise ground levels at the site, the ridge and eaves heights may appear up to 1 metre higher.
- Windows and doors at the property will be positioned on all sides.
- Materials for the dwelling include:
 - Vandersanden Flemish Antique external brickwork;
 - Blue/Black Natural Slate roof tiles;
 - Cream uPVC windows; and
 - Black uPVC rainwater goods.
- Hard and soft landscaping at the site includes a gravel driveway, paved patio/pathways and front and rear lawn areas. Trees and hedging are proposed to be planted to the front and rear.
- The overall site will be bounded by a mix of 1.2 post and wire fencing and hedging with a large gravel driveway with parking/turning to the front and an enclosed garden to the rear.

3.3. Full plans and associated documents for this application can be found at: <https://www.fenland.gov.uk/publicaccess/>

4. SITE PLANNING HISTORY

F/YR21/0702/O	Erect 1no dwelling (outline application with all matters reserved	Granted 27.09.2021
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5. CONSULTATIONS

5.1. **Wisbech St Mary Parish Council**

At the meeting of Wisbech St. Mary Parish Council on 13th June 2022, the Council recommended APPROVAL (as at outline stage).

5.2. Environment & Health Services (FDC)

The Environmental Health Team note and accept the submitted information, and have 'No Objections' to the above reserved matters application.

5.3. North Level Internal Drainage Board

My Board has no objection in principle to the above application.

A piped section of the Board's Sayers Field Drain forms the southern boundary to the site and therefore the Board's byelaws apply. In particular, Byelaw no.10 which states that "no person without the previous consent of the Board shall erect any building or structure whether temporary or permanent within 9 metres of the drain". The Board will require access over this pipeline and therefore prospective purchasers must be made aware of the right of access.

In addition, I note that surface water is to be discharged to the Board's drain and therefore a development levy will be payable in accordance with the enclosed.

5.4. Cambridgeshire County Council Highways Authority

Highways have no objections to this application. The applicant provided a dimensioned access geometry plan and access details laid out.

Vehicle visibility splays of 2.4mx120m to the south (40mph) and 2.4mx215m to the north (60mph) have been added to the plan. Consequently, it reveals that there is enough visibility from the access.

The existing footway has been continued along Sand Bank to tie-in with the new access.

The access should be sealed and to be drained away from the highway in a bound material for a minimum of 5m back from the existing footway. The vehicular access shall be laid out and constructed in accordance with the Cambridgeshire County Council construction specification. Surface water from private roads/ driveways areas must not discharge onto the public highway, and appropriate intervention must be provided. Please demonstrate a method at the boundary of the private and public highway of the access.

Conditions

1. Prior to the first occupation of the development (or prior to the commencement of the first use) the vehicular access where it crosses the public highway shall be laid out and constructed in accordance with the Cambridgeshire County Council construction specification.

Reason: In the interests of highway safety and to ensure satisfactory access into the site.

2. The gradient of the vehicular access shall not exceed 1:12 for a minimum distance of 5.0m (or longer if in connection with a commercial development) into the site as measured from the near edge of the highway carriageway.

Reason: In the interests of highway safety.

Informatives

Works in the Public Highway

This development may involve work to the public highway that will require the approval of the County Council as Highway Authority. It is an OFFENCE to carry out any works within the public highway, which includes a public right of way, without the permission of the Highway Authority. Please note that it is the applicant's responsibility to ensure that, in addition to planning permission, any necessary consents or approvals under the Highways Act 1980 and the New Roads and Street Works Act 1991 are also obtained from the County Council.

5.5. Environment Agency

We have no objection to the proposed development but wish to make the following comments...

Review of Flood Risk Assessment (FRA)

We have no objection to this application, but strongly recommend that the development is carried out in accordance with the submitted flood risk assessment (ECL0494c/R BOOR DRAUGHTSMAN dated March 2022) and the following mitigation measures it details:

- 2 storey dwelling*
- finished floor levels to be set a minimum of 1.0m above the surrounding ground level*
- 0.3m of flood resilient construction above finished floor levels*

5.6. Local Residents/Interested Parties – no comments received

6. STATUTORY DUTY

- 6.1. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted Fenland Local Plan (2014).

7. POLICY FRAMEWORK

7.1. National Planning Policy Framework (NPPF) July 2021

Para 2: NPPF is a material consideration in planning decisions.

Para 7: Purpose of the planning system is to contribute to the achievement of sustainable development

Para 12: Conflict with an up-to-date plan should not usually be granted

Para 79: Housing should be located where it will enhance or maintain the vitality of rural communities.

7.2. National Planning Practice Guidance (NPPG)

Determining planning applications

7.3. National Design Guide 2019

Context

Identity
Built Form
Homes and Buildings

7.4. Fenland Local Plan 2014

LP1 – A Presumption in Favour of Sustainable Development
LP2 – Facilitating Health and Wellbeing of Fenland Residents
LP3 – Spatial Strategy, the Settlement Hierarchy and the Countryside
LP4 – Housing
LP12 – Rural Areas Development Policy
LP14 – Responding to Climate Change and Managing the Risk of Flooding
LP15 – Facilitating the Creation of a More Sustainable Transport Network
LP16 – Delivering and Protecting High Quality Environments

**7.5. Supplementary Planning Documents/Guidance -
Cambridgeshire Flood and Water SPD (2016)**

8. KEY ISSUES

- **Access**
- **Appearance**
- **Landscaping**
- **Layout and Scale**
- **Residential Amenity**

9. BACKGROUND

9.1. This application follows the outline application F/YR21/0702/O granted approval contrary to Officer recommendation by the Planning Committee in September 2021.

10. ASSESSMENT

Access

- 10.1. The proposed access is by way of a gravel driveway and parking area with tarmac crossover leading from Sandbank. Appropriate visibility splays have been provided and an extended footway is proposed to tie in to the existing footway along Sandbank.
- 10.2. The proposed garage does not conform to the internal depth dimensions necessary to be counted towards parking provision (as set out in Appendix A of Policy LP15). Notwithstanding, the access leads to a parking/turning area at the front of the proposed dwelling allowing parking provision for at least three vehicles with appropriate turning space.
- 10.3. Comments from the Cambridgeshire County Council Highways authority deemed that the access was appropriate to the development and had no objections to the scheme subject to the imposition of necessary conditions.
- 10.4. Thus, the proposed access is considered acceptable.

Appearance

- 10.5. The proposed materials are to include Vandersanden Flemish Antique external brickwork; blue/black natural slate roof tiles; cream uPVC windows with imitation stone cills; with an oak framed porch and black uPVC rainwater goods.
- 10.6. To the south of the site, on the eastern side of Sandbank, the dwellings are older semi-detached, predominately constructed of light coloured brickwork with a mixture of slate and concrete tile roofs with limited lintel and cill detailing. The dwellings on the western side of Sandbank, are generally detached dwellings of a more modern appearance, predominately constructed of red brickwork with concrete tile roofs and no lintel or cill detailing.
- 10.7. The proposed materials, in particular the brickwork, is a variation to the brick types and colours within the vicinity. This, coupled with the inclusion of imitation stone detailing, and the overall scale and height of the development (discussed in more detail later), will result in the dwelling appearing overtly dominant within the streetscene in terms of its appearance against the backdrop of the nearest dwellings. It will neither appear congruent to the dwellings on the eastern side of Sandbank, nor those opposite, and instead will see the dwelling appearing in stark contrast to those around it.
- 10.8. The proposed dwelling also includes considerable areas of glazing in the form of large feature windows, particularly on the front elevation that will be prominent within the street scene. The number and scale of the proposed windows are in direct contrast to those dwellings in the vicinity, which are of a more traditional, modest style.
- 10.9. Ultimately, the overall design will result in the dwelling being an unduly distinct and prominent feature in the street scene. The dwelling is proposed as a substantial building which is out of character with surrounding development and will conflict with the uniformity and more simplistic character of the dwellings found either side of Sandbank. As such, it is considered that the proposed appearance of the dwelling is contrary to Policy LP16 (d) and cannot be supported.

Landscaping

- 10.10. Hard landscaping around the majority of the perimeter of the dwellings is proposed in the form of gravel and paving slabs. Generally, these materials are considered an appropriate hard landscaping option at the site and are reflective of the materials used within neighbouring development.
- 10.11. The front and rear gardens of the scheme are proposed to be predominately laid to lawn, with formal tree planting to the front of the site, with some additional trees proposed to the northern boundary at the rear. An area of land to the rear will be retained as paddock. Hedging is proposed to be reinstated to the western boundary at the front of the site and a newly planted to the northern boundary.

10.12. Overall, it is considered that the hard and soft landscaping proposals at the site are acceptable in the context of the development.

Layout and Scale

10.13. At Outline stage, the indicative site plan submitted depicted a relatively modest gable roofed dwelling with a detached garage. The plan suggested that the overall footprint of the dwelling and garage cumulatively may encompass approximately 170m², with the dwelling appearing approximately 12m wide by 8.7m deep.

10.14. Contrastingly, this application seeks permission for a significantly larger dwelling with an attached garage set to the front of the dwelling. The proposed plans suggest an overall development footprint of approximately 253m², with the dwelling encompassing a maximum of approximately 18m wide by 27m deep, with a more sprawling layout including the front garage projection.

10.15. The nearest dwellings to the south of the proposed, Nos. 14 & 15 Sandbank (a semi-detached pair) comprise a combined width of approximately 16.5m at their widest points (which includes single storey rear extensions); whilst the main part of the dwellings that are most apparent within the street scene being approximately 8m wide. This width is typical of the modest semi-detached pairs this side. Similarly, the nearest larger detached dwellings on the west side of Sandbank are generally around 11 – 13m wide.

10.16. Considering the widths of the nearby dwellings, it is evident that the proposed dwelling will be considerably larger and will appear distinctly more dominant than the surrounding dwellings to the detriment of the prevailing character and street scene.

10.17. Furthermore, the proposal seeks to include a garage projection set to the front of the dwelling on its western side. This will see the dwelling be noticeably different to the form and building line of nearby development that do not include any substantial forward outbuildings or garages, which will again differentiate the dwelling from its surroundings and exacerbate its prominent appearance in the street scene.

10.18. In addition to its sizeable width and incongruous form, it is also necessary to consider the height and massing of the development in the context of its surroundings.

10.19. The site is located in flood zone 3. As identified at outline stage to address flood risk the dwelling must be 2-storey with finished floor levels (FFL) set at a minimum of 1m above surrounding ground levels, with topographical surveys submitted as proof. This necessary raising of the dwelling will exacerbate the height of the dwelling in comparison to surrounding development. Whilst the indicated ridge height of the dwelling is 7.95m (from FFL), the actual height of the dwelling in respect of current ground levels (on which surrounding development is set), the proposed 2-storey dwelling will reach a ridge height of approximately 8.95m. This is significantly higher (approximately 1.2m) than the nearest semi-detached dwellings to the south, Nos. 14 & 15 Sandbank, again intensifying the dwelling's dominance in the street scene.

- 10.20. It should be noted, however, that the proposed dwelling will be set approximately 18.8m away from the main part of the dwelling at No.15 and this separation may help to reduce the perception of the height difference between the two.
- 10.21. However, this separation would also be an unusual feature of the streetscene, with other dwellings positioned considerably closer together, which may reinforce the proposed dwelling's incongruency in the street scene. This, coupled with the overall width, height and massing of the proposed dwelling will result in the dwelling being disproportionately dominant in respect of the surrounding development.
- 10.22. In addition, the submitted section plans are contradictory with regard to the likely grading of land levels on the northern boundary of the site (adjacent to the currently undeveloped land). Section C-C shown to the front of the site appears to suggest a gradient of no more than 1:3 to achieve the increased ground levels to the site frontage. Whereas, section B-B, street scene and elevation drawings suggest a stepped 1m increase in ground levels this side, likely owing to the position and scale of the dwelling proposed. There is no confirmation of how this significant ground level increase will be safely achieved, save for the use of a hedge to demarcate the boundary.
- 10.23. Ultimately, the inclusion of stepped ground, and the likely need for a retaining structure, will exacerbate the visual impact of the raised ground, resulting in an obvious unnatural change in levels, yet further exaggerating the dwelling's dominance within the surrounding built form and natural landscape.
- 10.24. As such, along with the overall design of the scheme in respect of its appearance (considered earlier in this report), it is considered that the layout and scale of the proposal is also contrary to Policy LP16 (d).

Residential Amenity

- 10.25. The main impact of the proposal in terms of residential amenity will be to that of No.15 to the south. The proposed dwelling is separated from the main part of the dwelling at No.15 by approximately 18.8m, and the boundary will be demarcated by the existing 1.2m post and wire fence. The proposed dwelling includes both ground and first floor windows facing No.15, serving the lounge and games room on the ground floor and a bedroom and en-suite on the first floor. Within No.15, windows facing the site include a ground floor and first floor window within the main dwelling, and a further ground floor window within an outbuilding. Whilst it is acknowledged that the dwellings may offer some mutual overlooking, the separation distance between the two properties will limit any detrimental impacts of this.
- 10.26. In addition, the proposed rear windows within the dwelling may offer some possibility of overlooking to the private amenity space at No.15. However these will be similar in nature and extent to those already available from the adjoining No.14 to No.15's south. In addition, these views will be limited in part by outbuildings associated with No.15 positioned on the boundary of the site. On that basis, any views from the rear of the proposed dwelling are not

sufficient to require refusal of the scheme on the basis of its impact on neighbouring privacy.

10.27. Given the positioning of the proposed dwelling, the scheme is unlikely to detrimentally impact residential amenity of other existing dwellings in respect of overlooking or overshadowing. However, it should be noted that the currently vacant land to the north has an Outline planning application, yet to be determined, for the erection of up to four dwellings (F/YR22/0706/O). Considering the indicative site plans submitted, there may be issues relating to residential amenity by way of overlooking and overshadowing from the proposed dwelling to the nearest plot to the north proposed under 22/0706, however this cannot be fully confirmed owing to the current status of the application for the adjacent site.

10.28. Therefore, considering current circumstances, is no justification for concluding that the proposed dwelling will have any harmful impacts on the amenity of the neighbouring properties for other reasons such as overshadowing, light pollution, or noise. As such, the proposal is considered acceptable with regard to policy LP16 (e).

11. CONCLUSIONS

11.1. On the basis of the consideration of the detailed matters of access, appearance, landscaping, layout and scale pursuant to outline permission F/YR21/0702/O, there would be conflict with adopted planning policy in relation to appearance, layout and scale.

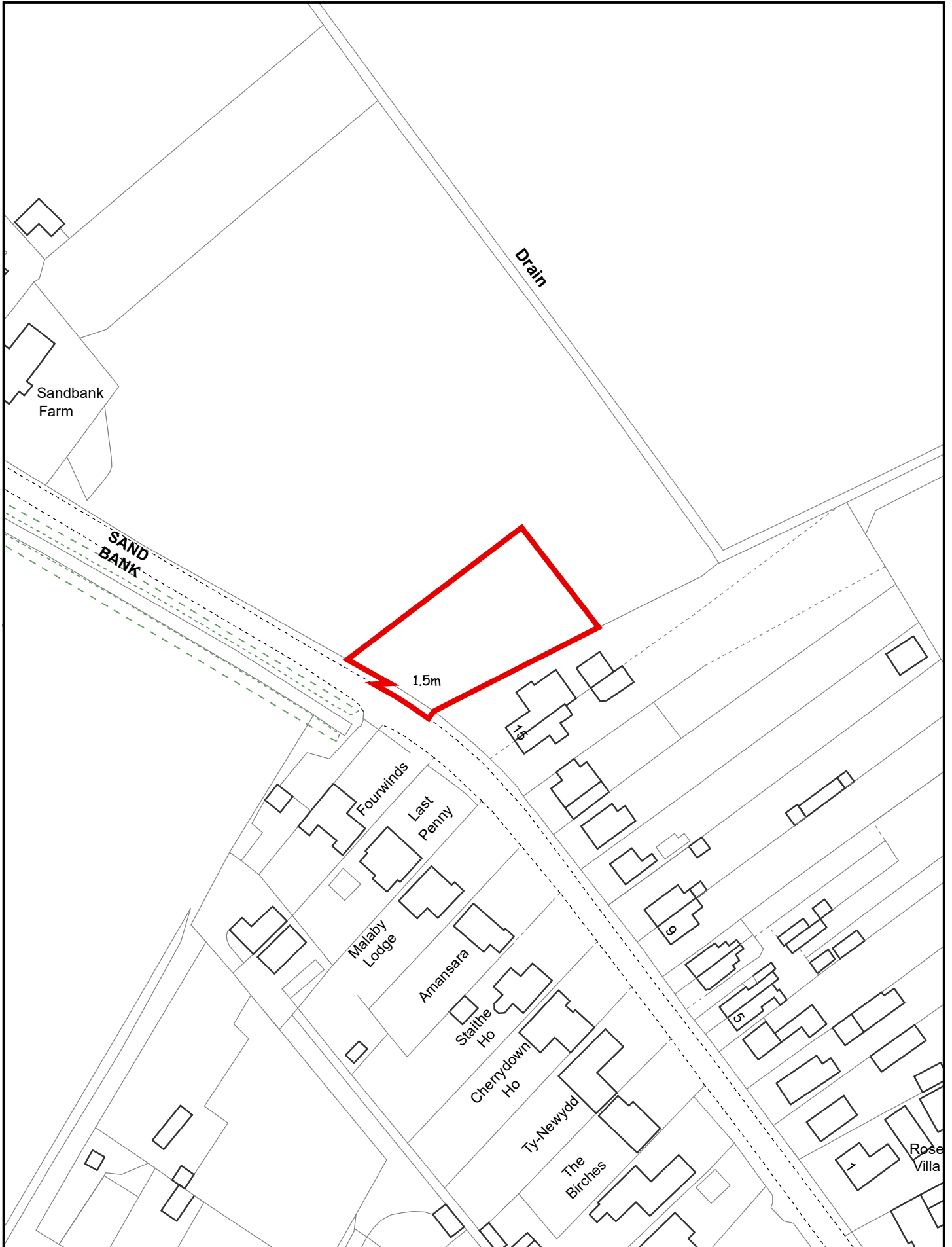
11.2. The proposal seeks to erect a large dwelling adjacent to more modest dwellings of particular form and character. By virtue of the incongruous appearance, layout and substantial scale of the proposed dwelling, the scheme would result in undue dominance within the streetscene, and would be harmful to the character and appearance of the area in the context of the surrounding development. The proposal would therefore be contrary to the requirements of the relevant planning policies of the development plan and must therefore be recommended for refusal.

12. RECOMMENDATION

Refuse, for the following reasons;

1	Policy LP16 (d) of the Fenland Local Plan (2014) and Policy DM3 of Delivering and Protecting High Quality Environments in Fenland Supplementary Planning Document (2014) requires development to deliver and protect high quality environments through, amongst other things, making a positive contribution to the local distinctiveness and character of the area, enhancing its setting, responding to and improving the character of the local environment, reinforcing local identity and not adversely impacting in design or scale terms on the street scene, settlement pattern or landscape character of the surrounding area. The proposal seeks to erect a substantial dwelling adjacent to more modest dwellings of particular form and character. By virtue of the incongruous appearance,
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	<p>layout and substantial scale of the proposed dwelling, the scheme would result in undue dominance within the streetscene, and would be harmful to the character and appearance of the area in the context of the surrounding development. The proposal would therefore be contrary to the requirements of Policy LP16 (d) of the Fenland Local Plan (2014) and Policy DM3 of Delivering and Protecting High Quality Environments in Fenland Supplementary Planning Document (2014).</p>
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F/YR22/0632/RM

Scale = 1:1,250



BOUNDARY TREATMENT
 NORTH EAST BOUNDARY - BETWEEN APPLICATION SITE & PARADE
 REPAIRED TIMBER POST AND WIRE FENCE
 SOUTH WEST BOUNDARY - BETWEEN APPLICATION SITE & NO 15 SANDBANK
 EXISTING POST AND WIRE FENCE TO REMAIN
 SOUTH WEST BOUNDARY - ROADSIDE
 REMOVE EXISTING POST AND WIRE FENCE AND REPLACE WITH PRINLET HEDGE
 NORTH WEST BOUNDARY - BETWEEN APPLICATION SITE AND PARADE
 TIMBER POST AND RAIL FENCE WITH PRINLET HEDGE ON THE NORTHERN SIDE

SURFACING
 DRIVE AND PARKING
 WASHED GRAVEL 150mm TO 4mm
 PATIO AND FOOTPATHS
 INDIAN STONE SLABS
 VEHICULAR ACCESS
 TARMAC

SPRAWLWATER
 FROM ROOF AND PATIO DISCHARGE INTO UNDERGROUND STORAGE TANK
 TO BE USE WATER IN GARDEN WITH OVERFLOW INTO STORMCELL SOAK
 AWAY SYSTEM WITH OVERFLOW INTO DYKE IF REQUIRED TO I.D.B. ATTEND

LANDSCAPING
TREES
 AC ACER CAMPESTRIS FIELD MAPLE
 BP BETULA PENDULA SILVER BIRCH
 M MALUS APPLE - VARIETY TO CLIENTS CHOICE
 P PRUNUS PLUM - VARIETY TO CLIENTS CHOICE
 SA SORBUS AUCUPARIA MOUNTAIN ASH
 Sg SALIX ALBA WHITE WILLOW

TREES CONTINUED
 MALUS AND PRUNUS TO BE HALF STANDARDS 4-6 CM
 ALL OTHER TREES TO BE LIGHT STANDARDS 6-8 CM
 TREES TO BE SECURED USING WINGS 50 & TREATED STAKE AT
 ANGLE TO SUPPORT 1/3 OF TRUNK. ADJUSTABLE
 RUBBER STRAP TO SECURE TREE TO STAKE
 LATE SUMMER / EARLY AUTUMN PLANTING AROUND CLEARING UNWANTED
 VEGETATION, BREAK UP COMPACTED SOIL, TREAT TO ERADICATE WEEDS.
 PLANTS TO BE SET IN SUITABLE CONDITION IN FIRST WINTER SEASON AFTER
 BUILDING WORKS COMPLETE.
 AREA TO BE PLANTED TO BE CULTIVATED THEN FIRMED DOWN.
 TREES TO BE SET IN PITS WITH MIN 75mm CLEARANCE AROUND ROOTS
 AND BACKFILL WITH A MIXTURE OF TOPSOIL AND COMPOST (MANURE
 3:1 RATIO).
 PLANTING 1500 & DARK MULCHING AROUND TREE UNTIL TREE IS ESTABLISHED
 THREE AFTER REPLACE WITH GRASS.
 THOROUGHLY WATER PLANTS PRIOR TO APPLYING MULCH

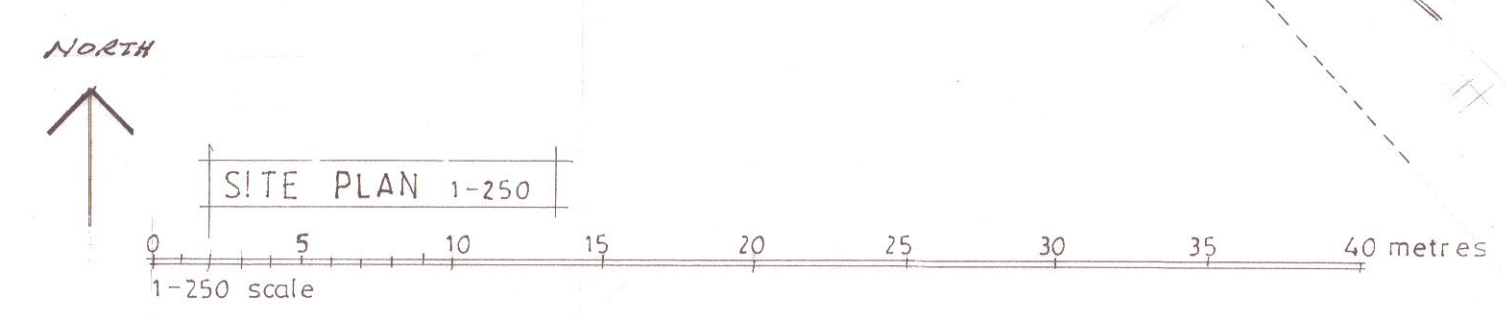
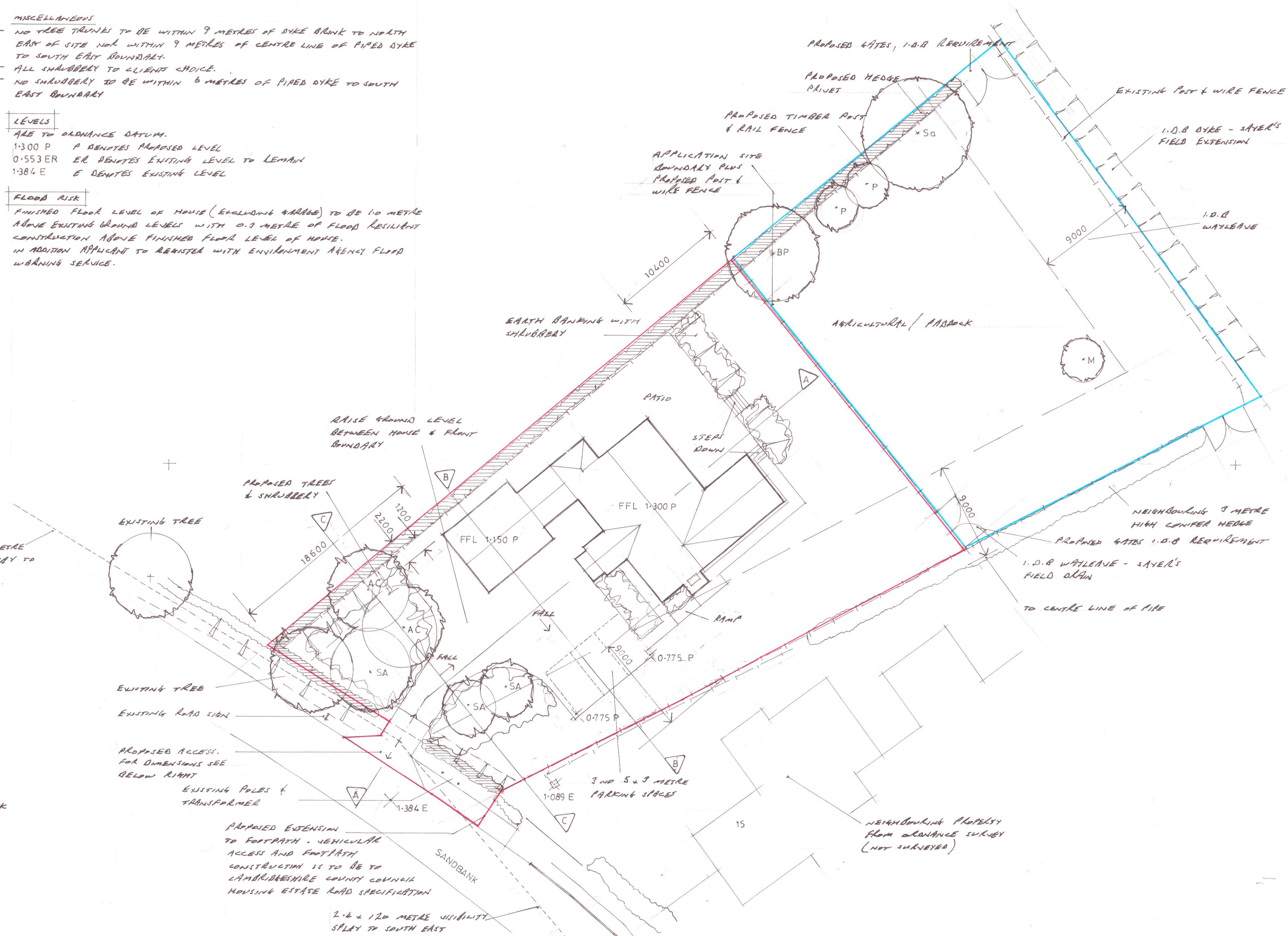
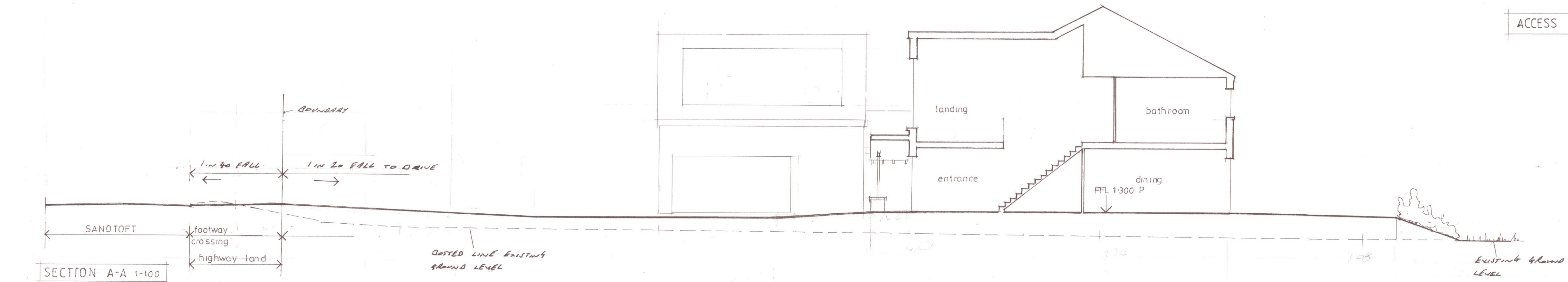
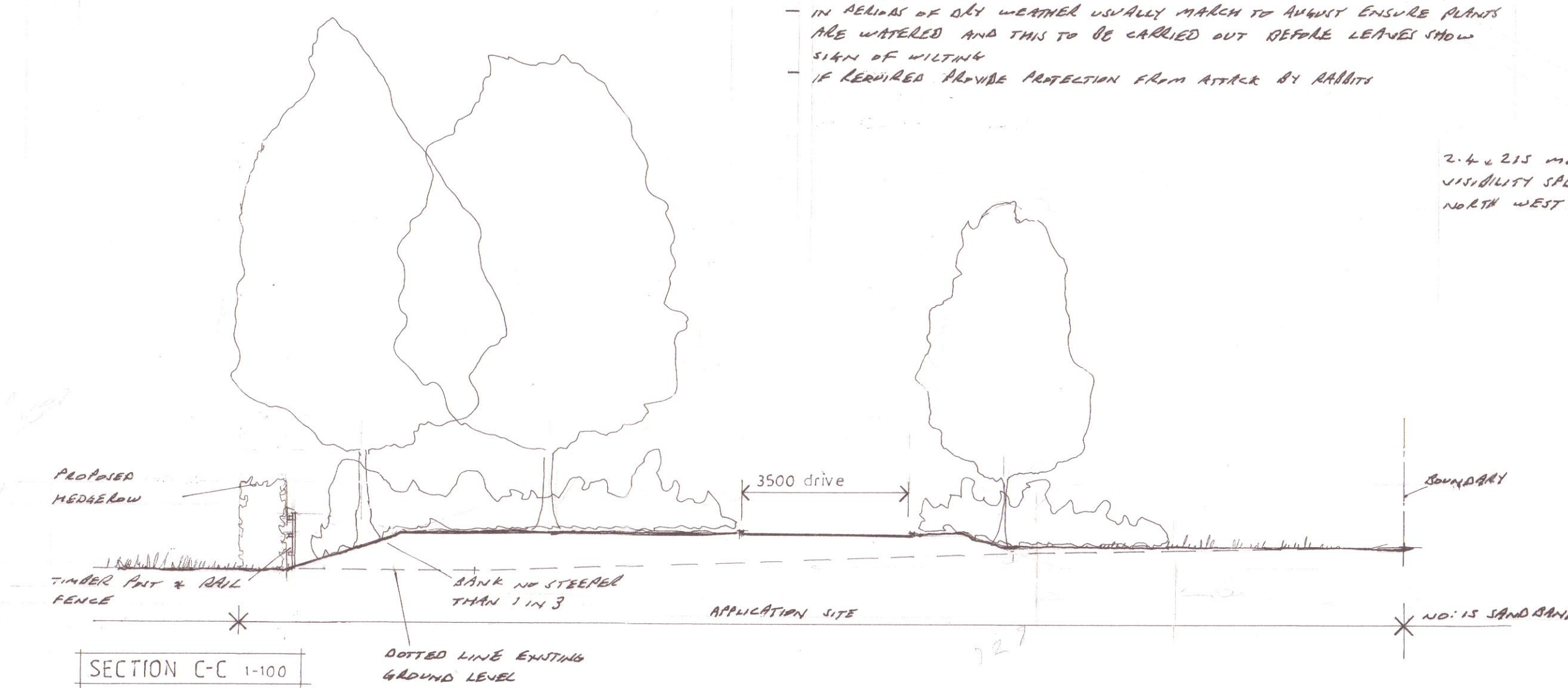
HEDGE
 TO BE PRINLET - LIGUSTRUM WALFOLIUM.
 PLANT IN 2 ROWS 300mm APART WITH PLANTS AT 45cm CYCLE IN
 EACH ROW AND STAGGERED WITH OTHER ROW
 PLANTS TO BE 3 YEAR OLD TRANSPLANTS (1+2) HEIGHT 450-600mm
 UNROOTED PLANTS AND TO BE CUT HARD BACK AFTER PLANTING.
 PROVIDE CONTINUOUS STRIP 750mm WIDE 300mm DEEP IN WHICH TO PLANT
 HEDGELINE.
 LAY 900mm WIDE STRIP OF MULCHING TO HEDGELINE TO SUPPRESS GRASS
 GROWTH UNTIL HEDGE IS ESTABLISHED.
 TO MINIMIZE DAMAGE KEEP HEDGELINE FREE OF VEGETATION AND CAREY
 OUT LATE PLANTING IN FEBRUARY / MARCH

GENERAL MAINTENANCE
 FOR FIRST 3 YEARS MAINTAIN ALL PLANTS.
 ENSURE ALL MULCH IS MAINTAINED AND REMOVE WEEDS MANUALLY.
 REPLACE ANY DEAD STOCK.
 IN PERIODS OF DRY WEATHER USUALLY MARCH TO MAY, ENSURE PLANTS
 ARE WATERED AND THIS TO BE CARRIED OUT BEFORE LEAVES SHOW
 SIGN OF WILTING
 IF REQUIRED PROVIDE PROTECTION FROM ATTACK BY RABBIT

MISCELLANEOUS
 NO TREE TRUNKS TO BE WITHIN 9 METRES OF DYKE BANK TO NORTH
 EAST OF SITE NOR WITHIN 9 METRES OF CENTRE LINE OF PIPED DYKE
 TO SOUTH EAST BOUNDARY.
 ALL SHROUBERY TO CLIENTS CHOICE.
 NO SHROUBERY TO BE WITHIN 6 METRES OF PIPED DYKE TO SOUTH
 EAST BOUNDARY

LEVELS
 1300 P A DENOTES PROPOSED LEVEL
 0.553 ER ER DENOTES EXISTING LEVEL TO LEHMANN
 1.384 E E DENOTES EXISTING LEVEL

FLOOD RISK
 FINISHED FLOOD LEVEL OF HOUSE (EVALUATED) TO BE 1.0 METRE
 ABOVE EXISTING GROUND LEVELS WITH 0.3 METRE OF FLOOD RESILIENT
 CONSTRUCTION ABOVE FINISHED FLOOD LEVEL OF HOUSE.
 IN ADDITION APPLICANT TO REGISTER WITH ENVIRONMENT AGENCY FLOOD
 WARNING SERVICE.



Contractor To Check All Dimensions On Site Before Work Commences.

Rev.	Date.	Init.	Revision Details.
A	11.11.21		ADD GATE, DELETE SHROUBERY
B	11.11.21		ADD NOTES & LEVELS FOR NEW APP
C	11.11.21		COMPLETE FOR PLANNING AND COMPLETE AND ADD NOTE RE FLOOD WARNING SERVICE
D	11.11.21		ADD FENCE BETWEEN SITE & PARADE
E	11.11.21		

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 Phone & Fax:
 01406 380279

Project:
 MR & MRS C TOLLEY,
 PROPOSED DWELLING TO SITE
 ADJACENT 15 SANDBANK,
 WISBECH ST MARY.

Drawing:
 SITE PLAN AS PROPOSED

Scale:
 AS SHOWN

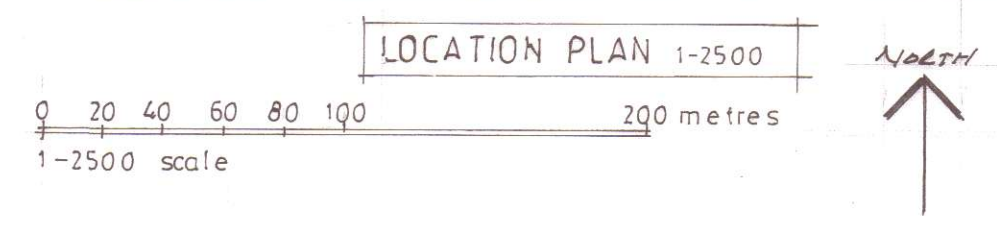
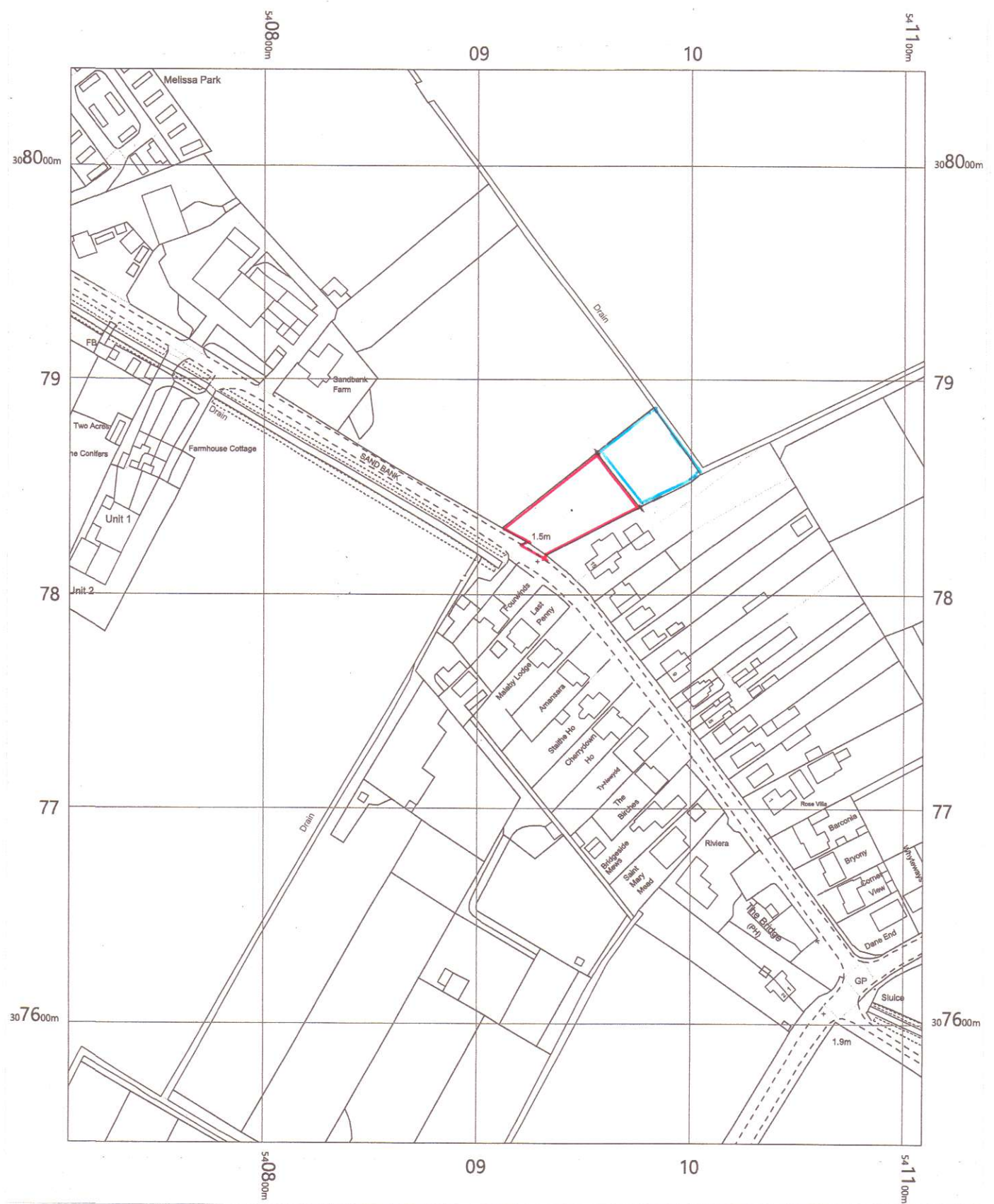
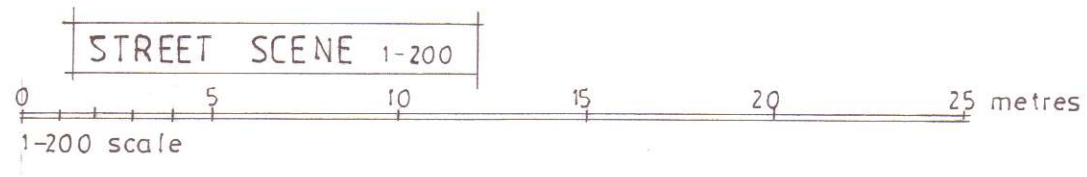
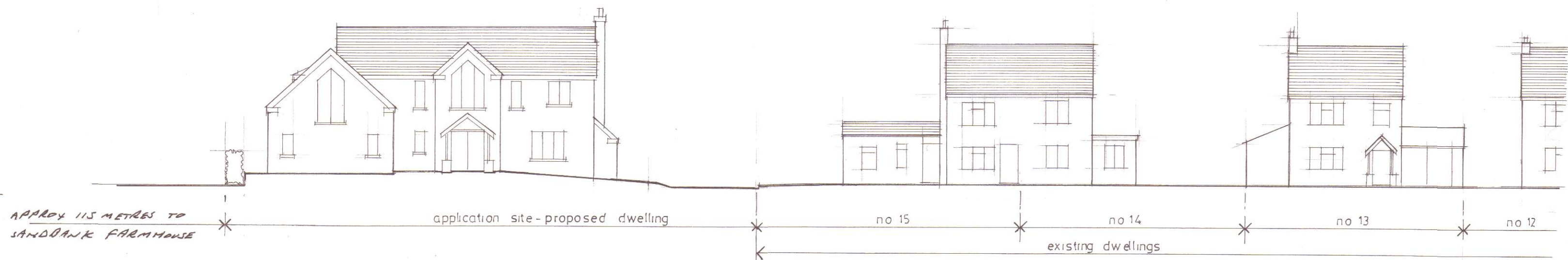
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Drawn:
 RMB

Date:
 DEC 2021

Rev.:

A	B	C	D	E
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Contractor To Check All Dimensions
On Site Before Work Commences.

Rev.	Date.	Init.	Revision Details.
A	14.02		COLLECTION

R. BOOR DRAUGHTSMAN

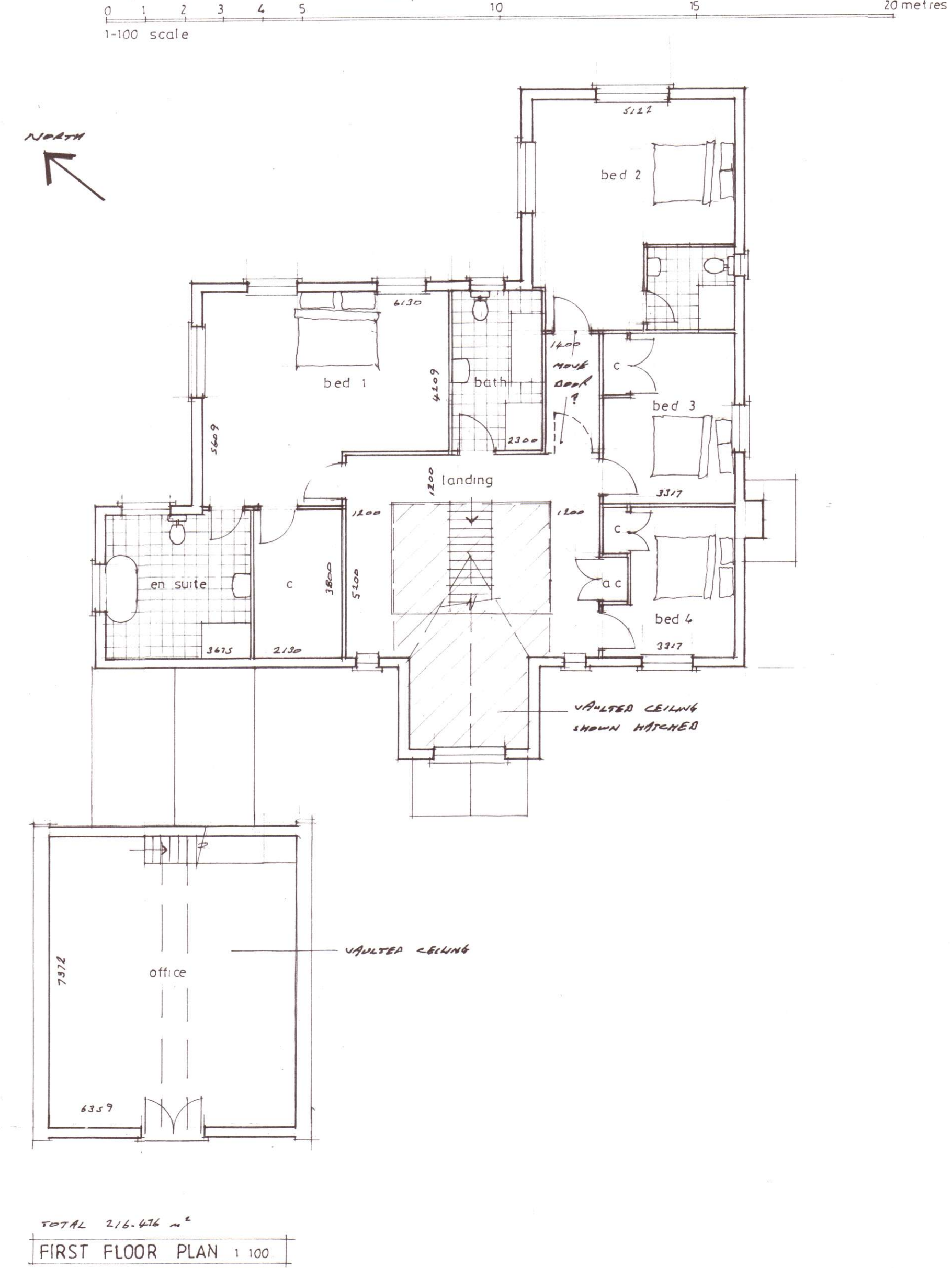
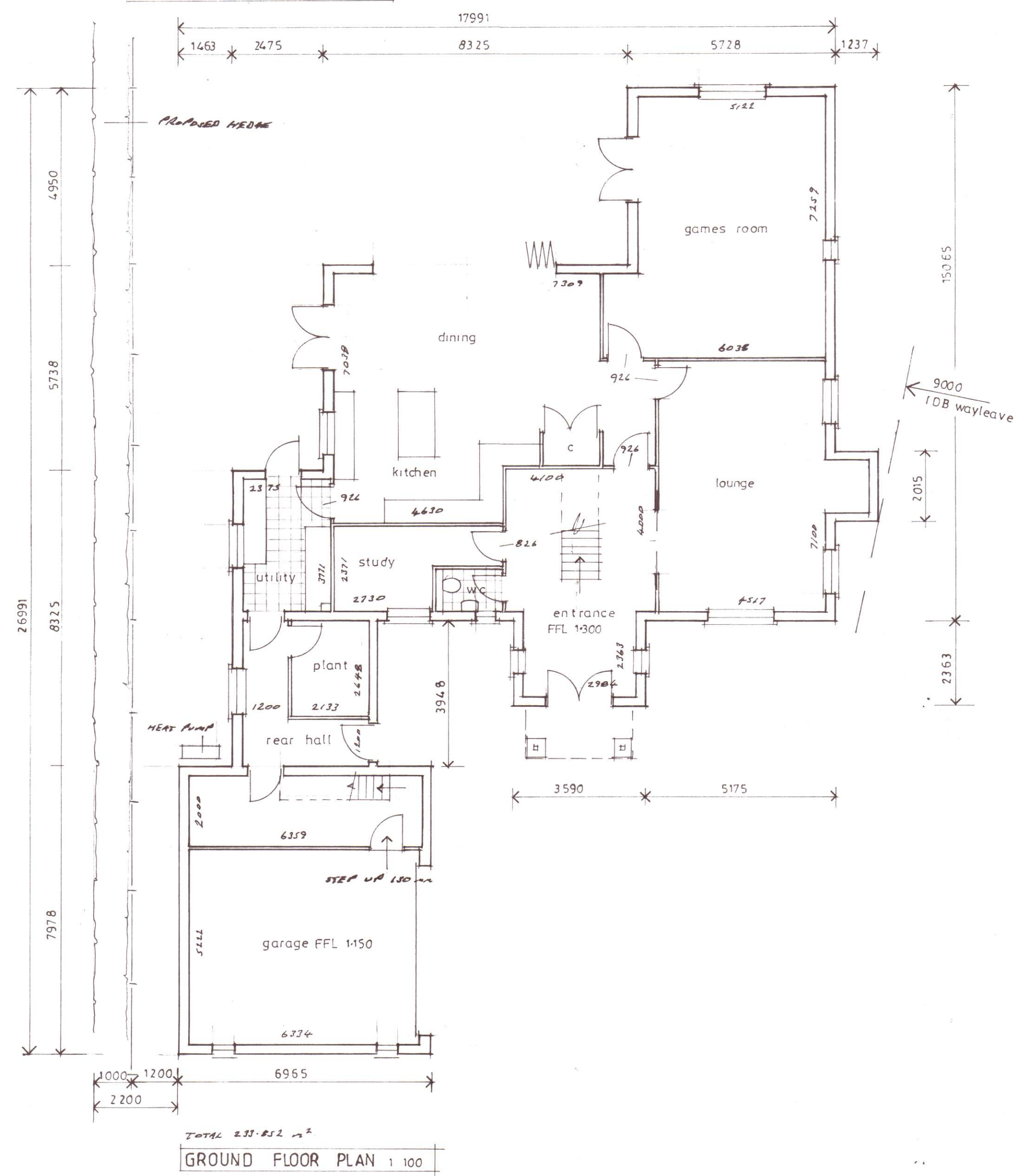
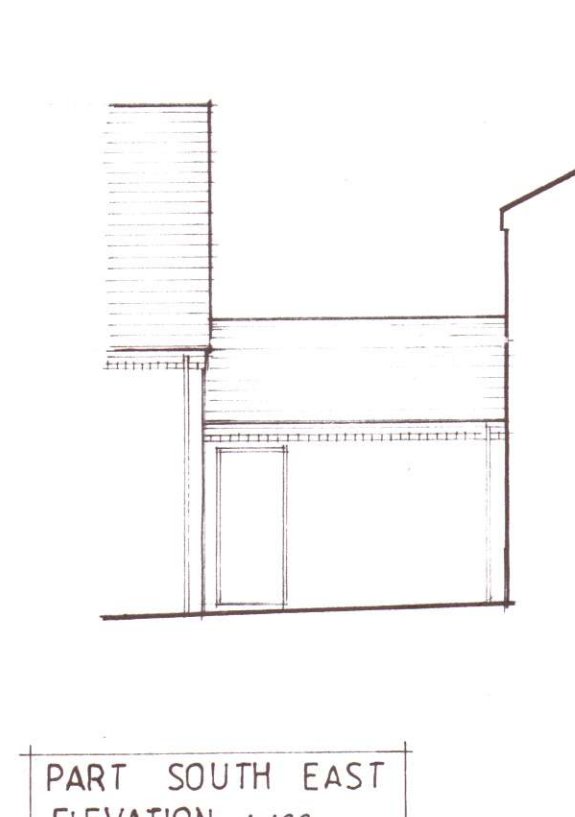
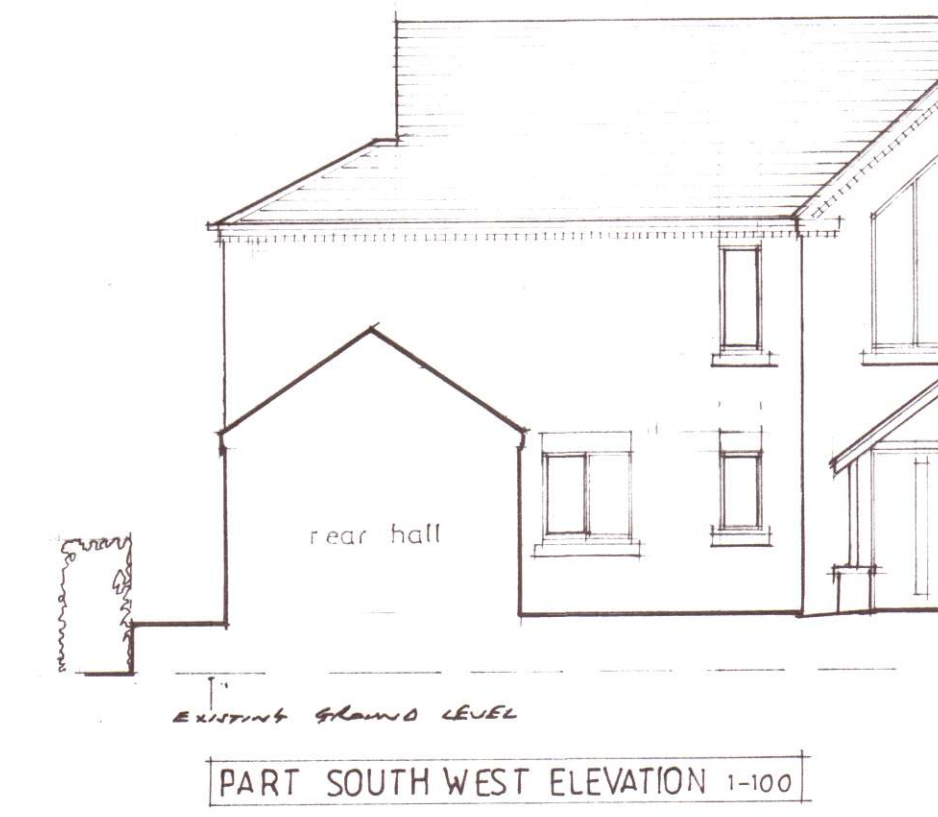
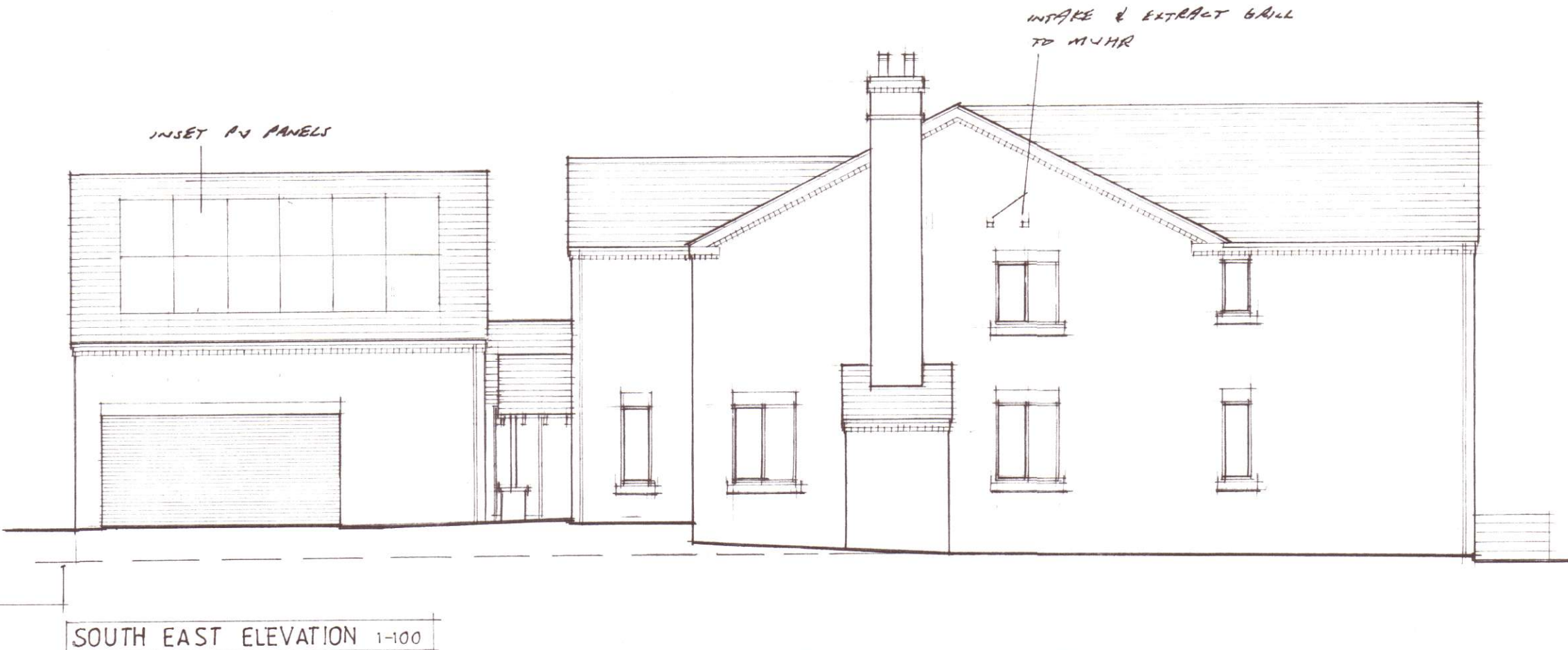
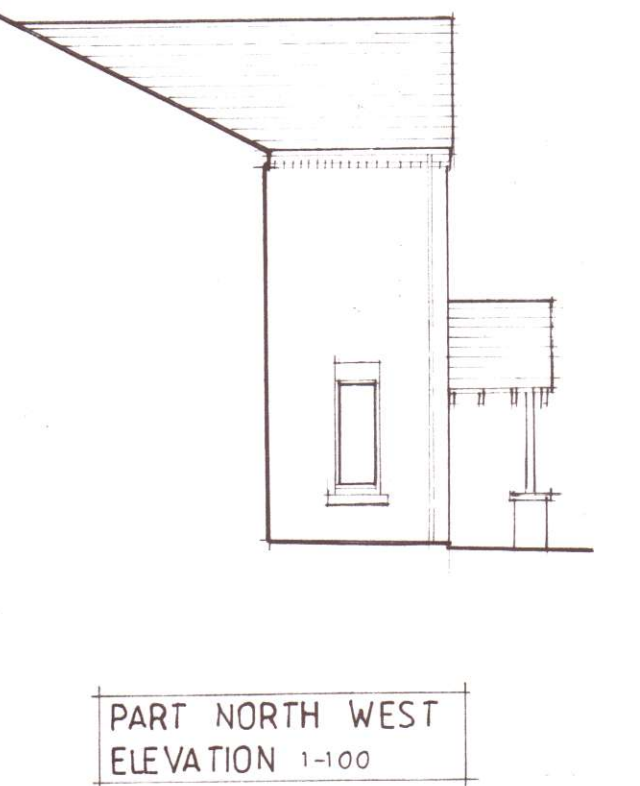
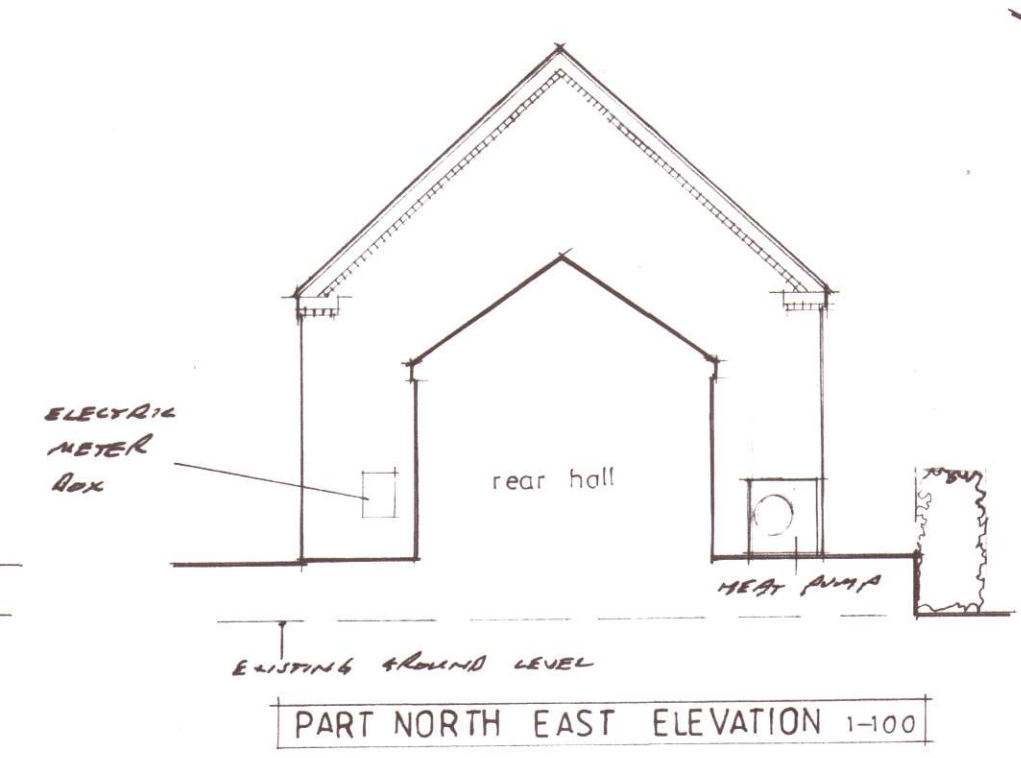
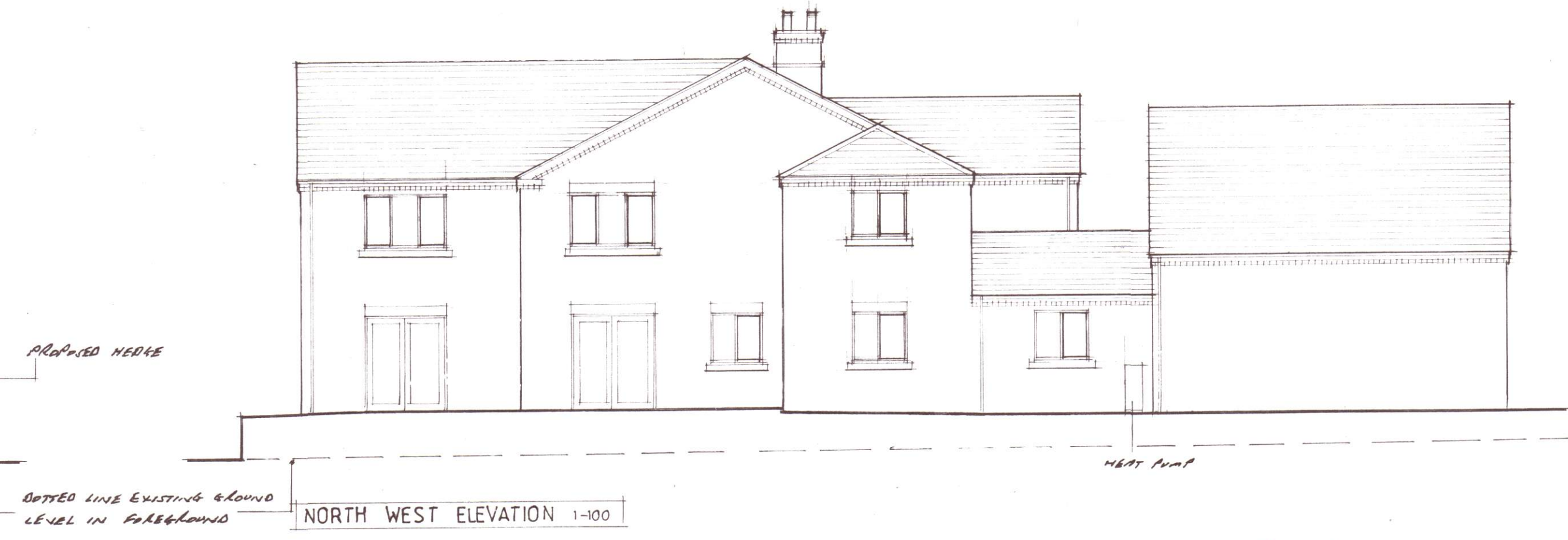
26 Fengate
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01406 380279

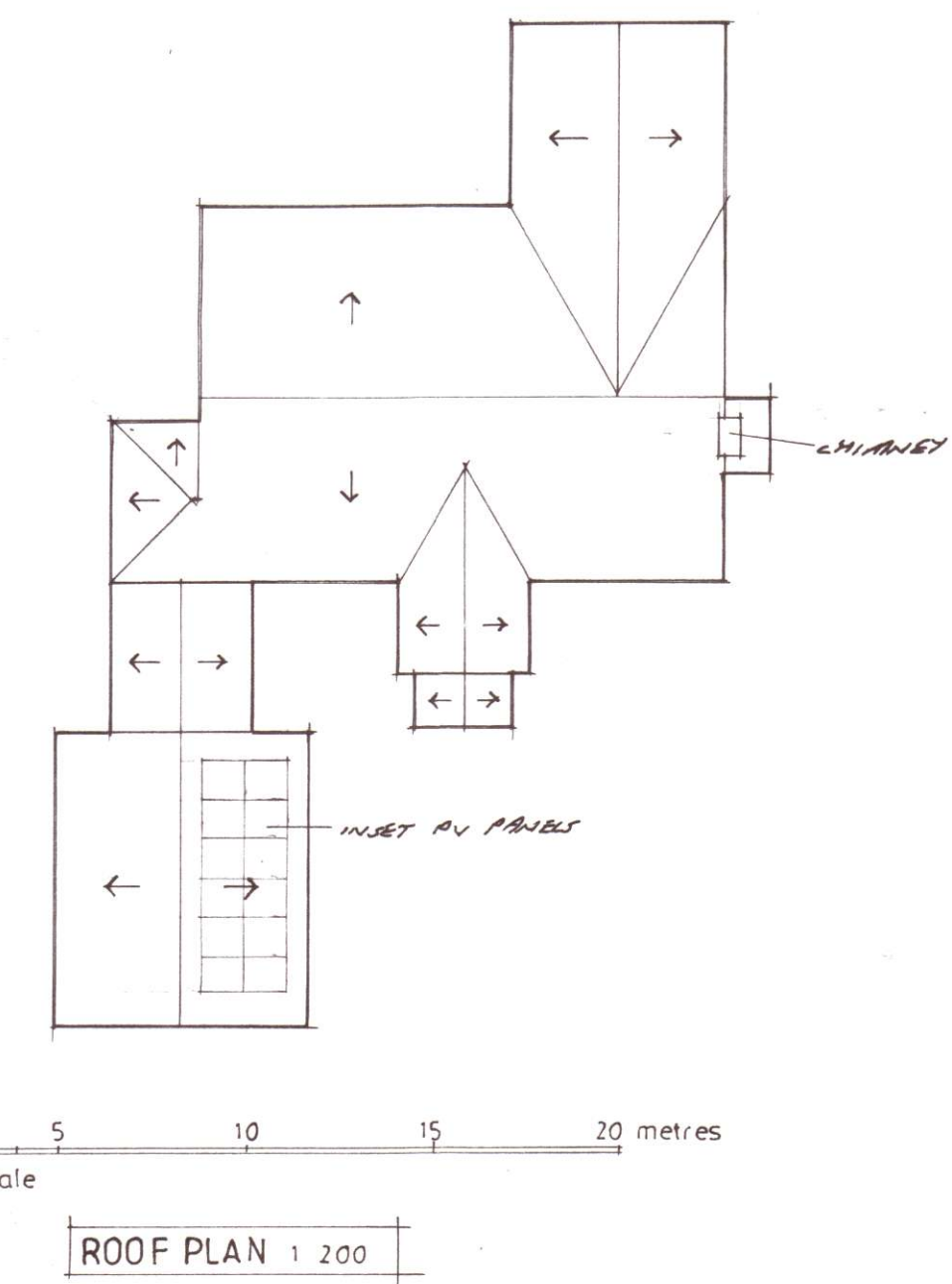
Project:
MR & MRS C TOLLEY.
PROPOSED DWELLING TO SITE
ADJACENT 15 SANDBANK,
WISBECH ST MARY.

Drawing:
STREET SCENE & LOCATION PLAN

Scale. AS SHOWN	Drawing. No. 3528-5
Drawn. RMB	
Date. MARCH 2022	Rev. A



- MATERIALS**
- ROOF - NATURAL BLUE/BLACK NATURAL SLATE
 - RAINFALL - 100mm HALF ROUND BLACK PVC ON AISE APDS AND FALL BRACKETS
 - WALLS - FLEMISH ANTIQUE AS MANUFACTURED BY UNDERSTANDEN WITH FERRURE BRICE OBTAINING TO STAGES 1 JERSE
 - SPINDRY - UPVC CREAM COLOUR WITH IMITATION STONE WALL
 - ENTRANCE - OAK FRAMED WITH SLATE ROOF AS FOR MAIN HOUSE CANOPY
 - FOOTPATHS - MAIN STONE SLABS
 - PATIO - INDIAN STONE SLABS
 - DRIVE - GRAVELLED
 - PV PANELS - THESE ARE SWIMMING INSET UNITS I.E. THEY REPLACE THE ROOF TILE/SLATE AND NOT SIT ABOVE THE ROOF TILE/SLATE AS IS USUALLY THE CASE.



Contractor To Check All Dimensions On Site Before Work Commences.			
Rev.	Date.	Init.	Revision Details.
A	01.12.21		CLIENT ALTS COMPLETE FOR PERMITS APP
B	15.3.22		CONTRACTUAL
C	16.04.22		
R. BOOR DRAUGHTSMAN			
26 Fengate Moulton Chapel Spalding Lincolnshire PE12 0AL Phone & Fax: 01406 380279			
Project: MR & MRS C TOLLEY PROPOSED DWELLING TO SITE ADJACENT 15 SANDBANK, WISBECH ST MARY.			
Drawing: PLAN & ELEVATIONS			
Scale:	AS SHOWN		Drawing No. 3528-4
Drawn:	RMB		
Date:	DEC 2021	Rev.	A B C